

To: COUNCIL

Meeting Date: 07/28/20

Subject: Public Meeting Report – 250 Allendale Road and 105 Middle Block Road Industrial Draft Plan of Subdivision – iPort Cambridge GP Inc.

Submitted By: Elaine Brunn Shaw, Chief Planner, MCIP, RPP

Prepared By: Kathy Padgett, Senior Planner – Environment, MCIP, RPP

Report No.: 20-123(CD)

File No.: 30T-20102

Recommendations

THAT report 20-123(CD) be received;

AND THAT application 30T-20102, report No. 20-123(CD), 250 Allendale Road and 105 Middle Block Road industrial Draft Plan of Subdivision be referred back to staff for a subsequent report and recommendation.

Executive Summary

Purpose

- The applicant is requesting permission for an industrial development consisting of four (4) blocks for employment uses, two (2) open space blocks, one (1) walkway/service corridor block, one (1) block for an existing communications tower and one (1) future development block. Employment uses generally means industrial and office type uses. The Draft Plan of Subdivision also includes the extension of Intermarket Road from Allendale Road to Middle Block Road.
- 25 jobs per hectare are proposed on 85.226 hectares (211 acres), totalling an estimated 2,131 jobs.
- This report is for a statutory public meeting required by the Planning Act for the requested Draft Plan of Subdivision application at 250 Allendale Road and 105 Middle Block Road.

Key Findings

- The Draft Plan of Subdivision is requested to prepare the lands for future industrial development. The properties subject to the Draft Plan of Subdivision are approximately 116 hectares (286.6 acres) in size.
- The lands to the east of future Intermarket Road were already pre-designated in the City's Official Plan and pre-zoned through City-initiated amendments. For the lands to the west of the future Intermarket Road, the applicant proposes to submit a separate application at a later date.

Financial Implications

- City of Cambridge is responsible for the costs associated with the extension of Intermarket Road from Allendale Road to Middle Block Road.
- This has been identified as a 2021 capital cost for \$8,495,300. This is funded through Development Charges (\$7,970,800) with a contribution from the Region of Waterloo for oversizing the trunk sanitary sewer (\$524,500).
- Additional costs related to this application are borne by the applicant.

Background

In accordance with the Planning Act, the City must hold a public meeting in order to formally consider the requested Draft Plan of Subdivision and receive public and councillor comments.

Detailed analysis of Provincial, Regional and City Policies and regulations, supporting documents, agency comments and any public submissions will be the subject of a future recommendation report.

Location

The subject lands are legally described as Part of Lots 15, 16, 17 and 18, Beasley's Broken Front Concession (Geographic Township of Waterloo), City of Cambridge, Regional Municipality of Waterloo. The subject lands are municipally known as 250 Allendale Road and 105 Middle Block Road and are located on the south side of Middle Block Road, the north side of Allendale Road, east of Riverbank Drive.



The properties subject to the Draft Plan of Subdivision (outlined in red above) are approximately 116 hectares (286.6 acres) in size.

Existing/surrounding land uses

The subject lands are currently used as agricultural lands. The subject lands are surrounded by agricultural lands to the north that are subject to Regional Official Plan Amendment No. 2 and intended to be added to the Urban Area for residential purposes; agricultural lands, a farm, natural features and industrial lands are to the east; agricultural and industrial lands are to the south, including lands with an industrial Draft Plan of Subdivision under review; and agricultural lands located outside of the Urban Area Boundary, single detached dwellings on Riverbank Drive and the Grand River are to the west.

Proposal

The applicant is requesting to develop the properties with an industrial Draft Plan of Subdivision consisting of four (4) blocks for employment uses, two (2) Open Space blocks, one (1) Walkway/Service Corridor block, one (1) block for an existing communications tower and one (1) Future Development block, with the following blocks identified:

- Block 1 is approximately 14.6 hectares (36 acres)
- Block 2 is approximately 37 hectares (91.4 acres)
- Block 3 is approximately 27.5 hectares (67.9 acres)
- Block 4 is approximately 5.9 hectares (14.5 acres)
- Block 5 is approximately 3.7 hectares (9.1 acres)
- Block 6 is approximately 19.8 hectares (48.9 acres)
- Block 7 is approximately 0.3 hectares (0.7 acres)
- Block 8 is approximately 0.09 hectares (.2 acres)
- Block 9 is approximately 3.5 hectares (8.6 acres)

Attachment No. 1 contains the applicants' proposed Draft Plan of Subdivision.

Analysis

Strategic Alignment

PEOPLE To actively engage, inform and create opportunities for people to participate in community building – making Cambridge a better place to live, work, play and learn for all.

Goal #2 - Governance and Leadership

Objective 2.1 Provide a wide range of ways that people can become involved in city decision making.

A statutory public meeting is required by the Planning Act to provide an opportunity for the public to give input on the proposal.

Comments

City-initiated Official Plan and Zoning By-law Amendments came into effect for the lands east of future Intermarket Road in June 2018 which permit a range of business industrial uses, office buildings and associated complementary uses. The lands to the west of future Intermarket Road are currently designated Prime Industrial Strategic Reserve (Serviced) and will require an Official Plan Amendment and Zoning By-law Amendment for the proposed use. The applicant proposes to submit a separate application at a later date. The proposed Draft Plan of Subdivision does not have proposed operations yet and will be further reviewed for conformity to the City's Official Plan and Zoning By-law at the Site Plan review stage.

The subject lands include Allendale Creek and a portion of the Maple Grove Road Provincially Significant Wetland in combination with a Significant Woodland. An Environmental Impact Study has been provided to determine setbacks from these environmental features.

250 Allendale Road and 105 Middle Block Road are listed on the Heritage Register. The subject lands abut 555 Riverbank Drive, which is also listed on the Heritage Register. A Heritage Impact Assessment has been provided.

Existing Policy/By-Law

Regional Official Plan (2015)

The subject lands are currently designated Prime Industrial Strategic Reserve (Serviced). The main purpose of this designation is to ensure an adequate supply of industrial lands are available within the region for new large-lot manufacturing or business park land uses in the vicinity of the Region of Waterloo International Airport and Provincial Highways.

City of Cambridge Official Plan (2012)

The subject lands to the east of future Intermarket Road are currently designated Business Industrial and Natural Open Space System (**see Attachment No. 2**). Site specific policies 8.10.74 and 8.10.75 apply to these lands which permit a range of business industrial uses, office buildings and associated complementary uses. These site specific policies came into effect in July 2018.

The subject lands to the west of future Intermarket Road are currently designated Prime Industrial Strategic Reserve (Serviced) and will require an Official Plan Amendment for the proposed use. The applicant proposes to submit a separate application at a later date.

City of Cambridge Zoning By-law No. 150-85, as amended

The subject lands to the east of future Intermarket Road are currently zoned Industrial (M3) and Open Space (OS1) (**see Attachment No. 3**). Site specific zoning by-law amendments S.4.1.347.1 and S.4.1.348.1 came into effect in July 2018 and permit a range of industrial uses, office buildings and associated complementary uses. Site specific zoning by-law amendment S.4.1.348.2 came into effect in July 2018 and provides for the regulation of uses and site design within the 70 metre (229 feet) Transition Area adjacent to the residential development on Banat and Allendale Roads.

The subject lands to the west of future Intermarket Road are currently zoned Agricultural (A1) and will require a Zoning By-law Amendment for the proposed use. The applicant proposes to submit a separate application at a later date.

Financial Impact

City of Cambridge is responsible for the costs associated with the extension of Intermarket Road from Allendale Road to Middle Block Road which include the design and construction of the trunk sanitary sewer, trunk watermain and collector road. This

has been identified as a 2021 capital cost for \$8,495,300. This is funded primarily through Development Charges (\$7,970,800) with a contribution from the Region of Waterloo for oversizing the trunk sanitary sewer (\$524,500). The extension of Intermarket Road and the trunk sewer could be constructed by the developer through a credit for service agreement, but an agreement has not been requested at this time.

Additional costs related to this application are borne by the applicant.

Public Input

The statutory public meeting under the Planning Act is being held virtually on July 28, 2020. Official notification of the public meeting and complete application for a proposed Draft Plan of Subdivision was provided in the Cambridge Times on July 2, 2020. In addition, notice was provided to all assessed property owners within 120 metres (393.7 feet) radius of the site. Any interested parties and members of the public will be provided with the opportunity to speak to this proposal at the July 28, 2020 virtual public meeting.

Information was posted publicly as part of the report process.

Internal/External Consultation

The application and supporting information has been circulated to the departments and agencies listed in **Attachment No. 4**. All comments received will be included in a future planning recommendation report.

Conclusion

Staff will provide further comments and analysis regarding this application as part of a future recommendation report to the Planning and Development Committee.

Considerations for the review of this application include (but are not limited to) the following:

- Conformity to the site-specific official plan and zoning by-law amendments
- Future extension of Intermarket Road (Street A)
- Servicing
- Environmental impacts
- Heritage considerations
- Planning Act provisions regarding the subdivision of land
- Comments received from the public and councilors

Signature

Division Approval



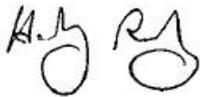
Name: Elaine Brunn Shaw

Title: Chief Planner

Reviewed by the CFO

Reviewed by Legal Services

Departmental Approval



Name: Hardy Bromberg

Title: Deputy City Manager, Community Development

City Manager Approval



Name: David Calder

Title: City Manager

Attachments

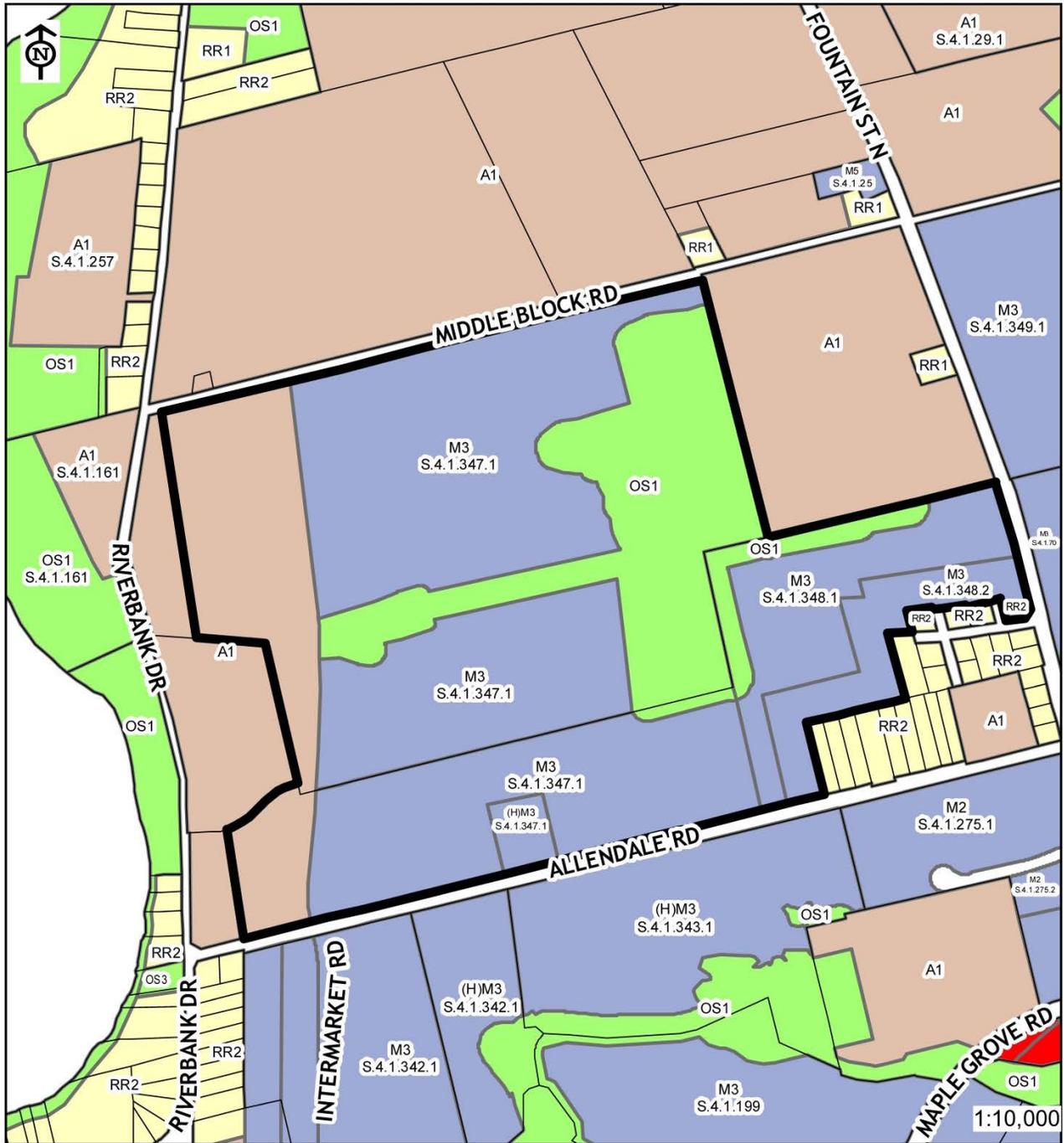
Attachment No. 1 – Proposed Draft Plan of Subdivision

Attachment No. 2 – Existing Official Plan Map

Attachment No. 3 – Existing Zoning Map

Attachment No. 4 – Internal/External Consultation and List of Supporting Studies

Attachment No. 3
Existing Zoning Map



EXISTING ZONING Map 3

	SITE	Zoning Classification		INDUSTRIAL
		OPEN SPACE		COMMERCIAL
		LOW DENSITY RESIDENTIAL		AGRICULTURAL



Friday, April 24, 2020 12:11:56 PM
G:\CORP\ITS\TSD\ID22_01_GIS\Information Products\GIS\Map\NorthCambridge\BusinessPark.mxd - wellitem

Attachment No. 4
Internal/External Consultation and List of Supporting Studies

The application has been circulated to the departments and agencies listed below. Their comments will be included in a future staff report to the Planning and Development Committee for consideration.

- Energy + Inc.
- Hydro One
- Union Gas
- Telecommunications Companies
- Public, Catholic and French School Boards
- Regional Municipality of Waterloo
- Grand River Conservation Authority
- City of Cambridge Engineering and Transportation Services Division
- City of Cambridge Planning Services Division
- City of Cambridge Parks, Recreation and Culture Division
- City of Cambridge Fire Department

List of Supporting Studies:

- Draft Plan of Subdivision
- Planning Justification Report
- Urban Design Brief
- Preliminary Stormwater Management Report
- Functional Servicing Report
- Hydrogeological Assessment and Water Balance – Preliminary Report
- Slope Stability Assessment
- Preliminary Geotechnical Investigation
- Environmental Impact Study
- Phase 1 and 2 Environmental Site Assessment
- Heritage Impact Assessment
- Stage 1, 2 and 3 Archaeological Assessment
- Chloride Impact Study
- Transportation Impact Study