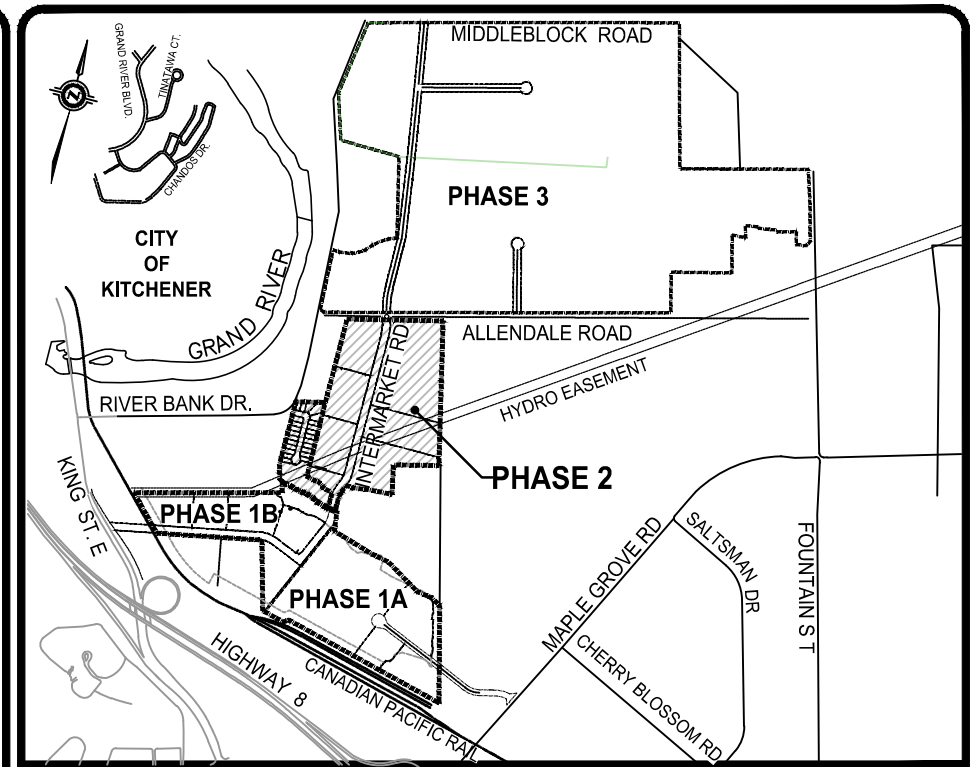
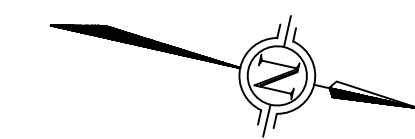


Future Development 14.3A/c



LEGEND

- PROPERTY LINE
- NRSI TREE DRIPLINE
- WETLAND BOUNDARY
- 30.0m WETLAND SETBACK
- GRCA REGULATORY FLOODPLAIN
- EXISTING ROAD SIDE DITCH
- DRAINAGE AREA BOUNDARY

XXX
XX.XX | XX

CATCHMENT I.D.
AREA (ha) | CN NUMBER

← OVERLAND FLOW DIRECTION

1000
1.97 | 40

CATCHMENT I.D.
AREA (ha) | % OF IMPERVIOUSNESS

ELEVATION NOTE
ELEVATIONS SHOWN HEREON ARE GEODETIC, ARE REFERRED TO BENCH MARK NO. 0011967362 LOCATED ON CONCRETE MONUMENT ON SOUTH SIDE OF TOWNSHIP ROAD No. 12, 0.44m EAST FROM TOWNSHIP ROAD No. 19, 131.2m SOUTHWEST FROM LANEWAY ENTERING J. PERRY'S PARK 0.4m SOUTH OF CENTRE LINE OF ROAD. TABLET IN TOP AND AT GROUND LEVEL, ESTABLISHED BY TOPOGRAPHICAL SURVEY.
• SITE BENCHMARK #1 (4,898,275.382N 548,832.866E) IS ON THE TOP OF A GEODETIC BENCHMARK NO. 0011967362 LOCATED 0.44m SOUTH OF CENTRE LINE OF ALLENDALE ROAD WITH AN ESTABLISHED ELEVATION OF 311.23m.
• SITE BENCHMARK #2 (4,898,177.228N 548,521.897E) IS CUT CROSS ON A CURVE LOCATED AT SOUTH-EAST INTERSECTION OF ALLENDALE ROAD & RIVERBANK DRIVE WITH AN ESTABLISHED ELEVATION OF 308.66m.
• SITE BENCHMARK #3 (4,897,758.022N 548,899.812E) IS A ROUND IRON BAR REPRESENTING NORTH-WEST CORNER PLAN 58R-10750 WITH AN ESTABLISHED ELEVATION OF 311.31m.

No.	REVISIONS	Date	By	App.
N	RE-ISSUED PER CITY AND GRCA COMMENTS	NOV. 04, 2020	K.L.	A.A.
M	RE-ISSUED FOR SWM POND AND PER CITY COMMENTS	AUG. 26, 2020	K.L.	A.A.
L	FULL RESUBMISSION FOR SUBDIVISION APPROVAL	AUG. 14, 2020	K.L.	A.A.
K	RE-ISSUED FOR DRAFT PLAN APPROVAL	JUL. 10, 2020	K.L.	A.A.
J	ISSUED FOR DRAFT PLAN APPROVAL	MAY. 28, 2020	K.L.	A.A.
I	ISSUED FOR SWM POND & ROAD TENDER	MAY. 22, 2020	K.L.	A.A.



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Owner/Cliet:
INTERMARKET CAM LTD.

Location:
245 RIVERBANK DRIVE & 215 ALLENDALE ROAD, CAMBRIDGE, ON

Title:
IP PARK CAMBRIDGE - PHASE 2 PRE-DEVELOPMENT DRAINAGE PLAN

Designed By: M.J./A.M. Drawn By: M.J. Checked By: A.A.
 Scale: 1:1500 Date: JUNE 27, 2018 Drawing No.:
 Project No.: BRM00605655-A0 **SWM-01**

