

LEGEND

- PHASE 2 BUSINESS PARK
- PHASE 2 RESIDENTIAL
- PROPERTY LINE
- EXISTING CONTOURS
- NSRI TREE DRIPLINE
- TREE DRIPLINE (15.0m SETBACK, NORMALIZED)
- WETLAND BOUNDARY
- 30.0m WETLAND SETBACK
- GRCA REGULATORY FLOODPLAIN
- EXISTING ROAD SIDE DITCH
- PROPOSED SWALE CENTRELINE
- PROPOSED ELEVATION
- MATCH EXISTING ELEVATION
- SLOPE ARROW
- OVERLAND FLOW DIRECTION
- SINGLE / DOUBLE CATCHBASIN
- OIL / GRIT SEPARATOR (OGS)
- STORM SEWER AND MANHOLE
- SANITARY SEWER AND MANHOLE
- WATERMAIN

ELEVATION NOTE

ELEVATIONS SHOWN HEREON ARE GEODETIC, ARE REFERRED TO BENCH MARK NO. 00119673652 LOCATED ON CONCRETE MONUMENT ON SOUTH SIDE OF TOWNSHIP ROAD NO. 12, 0.44m EAST FROM TOWNSHIP ROAD NO. 10, 131.2m SOUTHWEST FROM LANEWAY ENTERING J. PERRY'S FARM, 9.4m SOUTH OF CENTRE LINE OF ROAD, TABLET IN TOP AND AT GROUND LEVEL, ESTABLISHED BY TOPOGRAPHICAL SURVEY.

- SITE BENCHMARK #1 (4,808,278.382N 548,832.669E) IS ON THE TOP OF A GEODETIC BENCHMARK NO. 00119673652 LOCATED 9.4m SOUTH OF CENTRE LINE OF ALLENDALE ROAD WITH AN ESTABLISHED ELEVATION OF 311.230m.
- SITE BENCHMARK #2 (4,808,177.293N 548,521.997E) IS CUT CROSS ON A CURB LOCATED AT SOUTH-EAST INTERSECTION OF ALLENDALE ROAD & RIVERBANK DRIVE WITH AN ESTABLISHED ELEVATION OF 308.666m.
- SITE BENCHMARK #3 (4,807,758.002N 548,899.612E) IS A ROUND IRON BAR REPRESENTING NORTH-WEST CORNER PLAN 58R-19790 WITH AN ESTABLISHED ELEVATION OF 311.314m.

No.	REVISIONS	Date	By	App.
B	PRELIM. DESIGN RE-ISSUED WITH FSR/SWM	OCT. 5, 2018	M.J.	A.A.
A	PRELIM. DESIGN ISSUED WITH FSR/SWM	SEP. 21, 2018	M.J.	A.A.

<p>EXP Services Inc. 1-416-905-7933 (800) 1-905-793-0641 1595 Clark Boulevard Brampton, ON L6T 4V1 Canada www.exp.com</p>	
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INTERMARKET CAM LTD.

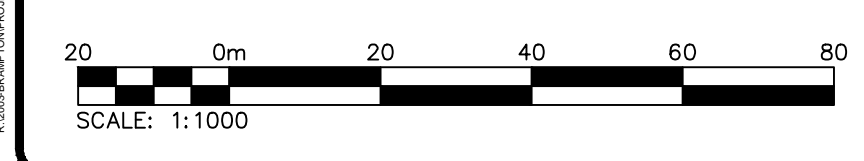
• BUILDINGS • EARTH & ENVIRONMENT • ENERGY •
 • INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •

Owner/Client:
INTERMARKET CAM LTD.

Location:
245 RIVERBANK DRIVE & 215 ALLENDALE ROAD, CAMBRIDGE, ON

Title:
IP PARK CAMBRIDGE - PHASE 2 PRELIMINARY SITE GRADING PLAN

Designed By: M.J./A.M. Drawn By: M.J. Checked By: A.A.
 Scale: 1:1000 Date: JUNE 27, 2018 Drawing No.:
 Project No.: BRM00605655-A0 **SG-01**



EXISTING GROUND TOPOGRAPHIC INFORMATION IS PER GRCA CONTOURS ON EAST SIDE OF PROPERTY BOUNDARY

SITE BENCHMARK #1
 TOP OF ROUND IRON BAR
 ELEVATION: 311.230 M

SITE BENCHMARK #3
 TOP OF ROUND IRON BAR
 ELEVATION: 311.614 M

SITE BENCHMARK #2
 CUT CROSS ON CURB
 ELEVATION: 308.666 M

PART 15, PLAN 58R-10806

PART 14
 PART 8, PLAN 58R-20094

PART 7
 PART 2, PLAN 58R-20094

PART 3
 PART 2, PLAN 58R-20094

INTERMARKET ROAD

ENTRANCE DRIVEWAY (TYP.)

RIVERBANK DR

ALLENDALE ROAD

FREEPORT CREEK

PHASE 2 RESIDENTIAL

PHASE 2 BUSINESS PARK LIMIT

BLOCK 3
 FFE=±310.00

BLOCK 2
 FFE=±310.50

BLOCK 1
 FFE=±311.00

BLOCK 7
 FFE=±310.00

BLOCK 6
 FFE=±311.50

BLOCK 5
 FFE=±311.00

BLOCK 4
 FFE=±311.80

NOTE:
 DETAILED DESIGN OF INTERMARKET ROAD BY OTHERS

MATCH IN TO PHASE 1 ROAD C/L GRADE

OVERLAND FLOW OUTLET AS DESIGNED BY MUNICIPAL FORCES

PROP. RIP-RAP AT 3:1 SLOPE

30.0m WETLAND SETBACK

GRCA REGULATORY FLOODPLAIN

WETLAND BOUNDARY

RETAINING WALL

15m SETBACK

1.5m SIDEWALK

7.0m WIDE GRASSED SWALE

PROPOSED CULVERT

PROPOSED SWALE CENTRELINE

PROPOSED ELEVATION

MATCH EXISTING ELEVATION

SLOPE ARROW

OVERLAND FLOW DIRECTION

SINGLE / DOUBLE CATCHBASIN

OIL / GRIT SEPARATOR (OGS)

STORM SEWER AND MANHOLE

SANITARY SEWER AND MANHOLE

WATERMAIN